

Nampa Building Safety Department

# RESIDENTIAL POLE BARN

# BUILDING PERMIT GUIDE



# NAMPA

I D A H O

411 3<sup>rd</sup> Street S.

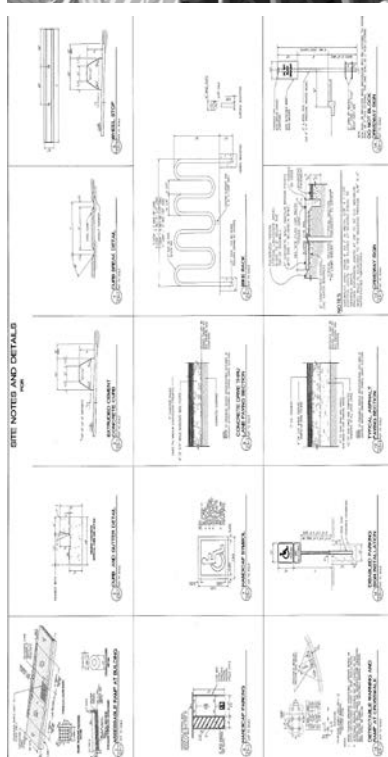
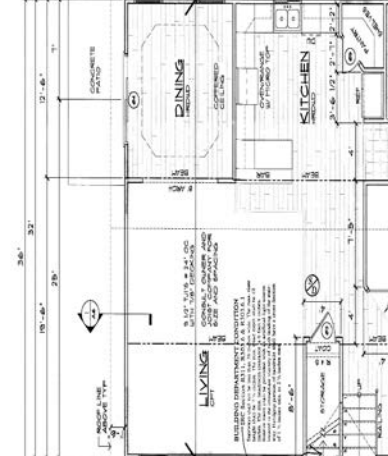
Nampa, Idaho 83651

208-468-5435

Fax#: 208-468-5439

[www.cityofnampa.us](http://www.cityofnampa.us)

Patrick Sullivan C.B.O  
Building Safety Director



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## Residential Pole Barn Building Permit Guide

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This guide outlines the requirements for obtaining a building permit to construct New structure within the Nampa City Limits.

In order to ensure that your application is processed in a timely manner, your plans must be complete. For application and submittal requirements, see the attached General Information sheet and Checklists.

Once submitted, your plan package will require review and approval from the Building Department. Questions or inquiries you may have please call the following reviewers listed below:

### Building Safety

**Rob Willis, Plan Examiner Supervisor**  
(208) 468-5410, [wilisj@cityofnampa.us](mailto:wilisj@cityofnampa.us)

**Cache Olson, Residential Plan Examiner**  
(208) 468-5455, [olsonc@cityofnampa.us](mailto:olsonc@cityofnampa.us)

**Bruce Meyer, Residential Plan Examiner**  
(208) 468-4431, [meyerb@cityofnampa.us](mailto:meyerb@cityofnampa.us)

### CURRENT CODES:

2012 International Residential Code

2012 International Energy Conservation Code

### DESIGN CRITERIA :

Seismic Zone – B

Wind Loading – 90 Miles per hour

Basic Ground Snow Load – 20 pounds per s.f.

Frost Depth – 24 inches

Minimum Collateral Load – 5 pounds per s.f.

### Warning:

The US Environmental Protection Agency requires that Renovation, repair and painting projects that disturb lead-based paint in pre-1978 homes, must be performed by an EPA Certified Renovator working for an EPA Certified Firm and specific work practices must be implemented to prevent lead contamination. More information is available at

1-800-424-LEAD [5323] or <http://www2.epa.gov/lead>

**RESIDENTIAL POLE BARN  
PERMIT APPLICATION**

CITY OF NAMPA

411 3rd Street South, Nampa, ID 83651-3721

Phone - (208) 468-5435, Fax - (208) 468-5439

Patrick Sullivan C.B.O., Building Safety Director

www.cityofnampa.gov

**FULL PLAN REVIEW WILL BE  
CHARGED AT TIME OF APPLICATION**

**FOR OFFICE USE**

**Permit Application Number:** \_\_\_\_\_

Date: \_\_\_\_\_ Rec'd By: \_\_\_\_\_

Amt Rec'd \$: \_\_\_\_\_ Check # \_\_\_\_\_  Cash

Project Address : \_\_\_\_\_ Project Value: \$ \_\_\_\_\_ .00

Legal Description: Lot \_\_\_\_\_ , Block \_\_\_\_\_ , Subdivision \_\_\_\_\_

Owner:

Address: \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Contractor:

Address: \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile: \_\_\_\_\_ E-Mail \_\_\_\_\_

**Contact Name:** \_\_\_\_\_ **Registration #:** \_\_\_\_\_

Architect/Designer: \_\_\_\_\_ **Contact name:** \_\_\_\_\_

Address: \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**Pole Barn - Square Feet :** \_\_\_\_\_

**NOTICE**

Any person who commences any work before obtaining the necessary permits shall be subject to a special investigation. A special investigation fee, in addition to the permit fee, shall be collected whether or not a permit is then or subsequently issued. The investigation fee shall be equal to the amount of the permit fee required. Inspection requests must be made at least 24 hours prior to the need for the inspection. Inspection requests missing any of the required information cannot be processed. Access to the property is the responsibility of the permit holder.

**Notice:** All permits expire after 180 days from the date of permit issuance or the date of the last inspection.

**Declaration:** Applicant hereby certifies that the information provided is true and correct to the best of their knowledge.

**Owner or Owners Authorized Agent:** \_\_\_\_\_ **Date:** \_\_\_\_\_

# Residential Plan Review Submittal Checklist (to be completed by applicant and staff)

**Notice to all applicants:** This checklist is designed to provide the basic information needed to allow the various agencies within the City to complete a plan review of the proposed project. The basic requirements outlined below may not be all inclusive.

- ◆ Additional permits *are required* for any **electrical, plumbing and mechanical** installations.
- ◆ Permit applications are reviewed in the order in which they are received, so in order to avoid any delays make sure that all of the required information is provided.

## **ONLINE SUBMITTALS, DISC OR** **ONE set of plans- (MIN. 11"x17", MAX. 24"x36")- MIN. 1/4" SCALE**

Staff Applicant

Only Only

**Site Plan -**

- All site plans must be less than 1/20 scale.
- Buildings shall be correctly oriented (no reverse plans), and site specific.
- Include location of all existing and new structures on the site.
- Include **setbacks** from structures to the property lines, and dimensions between structures.
- \*Show location of all utility lines, marked and labeled.
- \*Indicate drainage flow directions.
- Indicate North Arrow.
- Indicate lot corner.
- Indicate foundation elevations at top of foundation.
- Indicate location and dimensions for all **easements**.

**Floor Plan-**

- Provide expanded floor plan for all rooms adjacent to the carport/covered patio/deck

**Packet -**

Provided by the Building Department

**Erosion/Sediment/Stormwater Management Plan -**

Completed application if required.

Applicant: \_\_\_\_\_

Date: \_\_\_\_\_

Accepted By: \_\_\_\_\_

Date: \_\_\_\_\_



# DEPARTMENT OF BUILDING SAFETY & FACILITIES DEVELOPMENT

411 3rd Street South, Nampa, ID 83651  
(208) 468-5435 [www.CityofNampa.us](http://www.CityofNampa.us)

## Contractor Registration Declaration

As of January 1, 2006, the Idaho State Statute 54-5209 requires that:

"No Building Inspector or such other authority of any county, municipality or district charged with the duty of issuing building permits or other permits for construction of any type shall issue any permit without first requesting presentment of an Idaho contractor's registration number; provided however, a permit may be issued to a person otherwise exempt from the provisions of this chapter provided such permit shall conspicuously contain the phrase "no contractor registration provided" on the face of such permit.

To comply with this state statute, The City of Nampa Building Department requires a registration number be supplied with the permit application. A permit application is incomplete without this information, and cannot be processed until a registration number is provided, or the permit applicant declares themselves to be exempt per the exemptions listed in Idaho State 54-5205. Please complete the following addendum and submit it with the standard building permit application.

### I certify that:

- \_\_\_\_\_ is my Contractor Registration Number issued by the State of Idaho as required by Chapter 52, Title 54 of the Idaho State Code and that such registration is current as of today.
  
- I am not providing a contractor registration number because I am exempt per Idaho State Code 54-5205

I understand that acting in the capacity of a contractor within the meaning of Idaho State Code Chapter 54 Title 52 without a current registration with the Idaho Bureau of Occupational Licenses or without being exempt as defined in 54-5205 is a misdemeanor punishable by a fine not to exceed one thousand dollars (\$1000) or by imprisonment in the County jail for a term not to exceed six months, or by both such fine and imprisonment, at the discretion of the applicable court.

\_\_\_\_\_  
Name (Please print)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

*“Building Safety is No Accident”*



# City of Nampa

## Building Safety & Facilities Development

Patrick Sullivan CBO, Director  
411 3rd Street South, Nampa ID 83651  
(208) 468-5435 [www.cityofnampa.us](http://www.cityofnampa.us)

### **NOTICE AND DISCLAIMER:**

**The issuance of a permit or stamping of the plans and specifications “APPROVED”, shall not be held to permit or approve the violation of any state law, city ordinance, or building code provision even though a violation may have been overlooked when plans were reviewed by City Staff.**

**It is the sole responsibility of the applicant to assure that the information on the site plan, such as but not limited to: the dimensions of the property, distances of all structures to property lines, and distances between structures, easements, and setbacks, are true and accurate. It is the applicant, contractor, or property owner’s responsibility to assure that all improvements will be in compliance with the approved site plan.**

**The issuance of a building permit does not affect or change the rights or duties of parties to any public or private restriction or easement relating to the use of land, including, but not limited to private covenants (CC&Rs) or easements for: access, conservation, construction, development, ingress/egress, maintenance, repairs, parking, roads, utilities, or other purposes. Fences and other structures are erected and maintained upon easement areas at your own risk, for which the City of Nampa disclaims any liability. You may be required to move or remove a fence and other structure in the future if requested to do so by a party holding or benefited by an easement.**

**Variations will not be granted based upon errors, omissions, mistake, neglect, or inadvertence of the City Staff in the granting of a building permit not in full compliance with the Zoning Code or Building Code of the City of Nampa. The City reserves the right to require Certified Survey Maps or Plats if it is deemed necessary to verify compliance.**

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**Owner**

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**Date**

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**Applicant/Contractor**

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**Date**



# City of Nampa

**BUILDING DIVISION**

**CITY HALL 411 THIRD STREET SO.**

**OFFICE (208) 468-5435**

**NAMPA, IDAHO 83651 FAX (208) 465-5439**

## *Compliance Notice for Site Development and Erosion, Sediment & Fugitive Dust Control On Construction Sites and Right-of-Way Less Than One Acre*

Building Permit #		EROSION PERMIT #	
DATE OF APPLICATION:	PROPOSED START DATE:	PROPOSED END DATE:	
CONTRACTOR:	PHONE#		
RESPONSIBLE PERSON	RP CERTIFICATE #	EXPIRATION Date:	CELL/PHONE#
REPERSONABLE PERSON ADDRESS:	PHONE #	CELL #	
JOB SITE STREET ADDRESS		CROSS STREET	
DESCRIPTION OF WORK:		LOT, BLOCK, SUBDIVISION NAME	

\* The Certified Responsible Person (s) must possess a valid City of Boise Responsible Person Certification number. Responsible Person Training Class information is available upon request. The Responsible Person shall be on site during all construction or grading activity.

### CONDITIONS OF APPROVAL

This General Permit application must be submitted with a Specific Construction Site Discharge Plan with BMP details and signed by a plan designer. This General Permit application is for the construction, demolition, or site development of a project less than one acre in size. The approval of this permit does not relieve the applicant from complying with any and all Federal or State laws and regulations. In the event the applicant fails to provide adequate control under the provisions of this permit, the Public Works Department reserves the right to require additional control measures as necessary OR require the preparation and implementation of an erosion and sediment control plan.

### GRADING

At any location where sediment-laden run-off may exit the property, perimeter, controls will be installed to prevent sediment from being transported off-site. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition. Grading shall not impair surface drainage, create an erosion hazard or create a source of sediment to any adjacent watercourse or property owner.

### OPERATIONS

A temporary access road shall be provided at all sites. The applicant is responsible for preventing the tracking of mud or dirt upon the public right-of-ways, and the cleanup should tracking occur. Construction ramps shall not be placed in a manner as to interfere with or block the passage of stormwater runoff. No materials or supplies shall be placed on the public right-of-way (streets or sidewalks) unless permitted. Control measures shall be in place to prevent particulate matter from becoming airborne from any construction activity or operation. Stormwater inlet structures shall be protected from sediment during construction.

Control measures shall be implemented for proper disposal of construction and building wastes; paint and other chemicals used during construction and site cleanup.

### STABILIZATION

Temporary stabilization of the construction site shall be completed to the surface of all disturbed areas within 10 days of clearing or inactivity in construction. When in-channel work is conducted, the channel shall be stabilized before, during and after work. Swales or other areas that transport concentrated flow will be stabilized with erosion control matting or sod.



# City of Nampa

**BUILDING DIVISION**

**CITY HALL**

**411 THIRD STREET SO.**

**NAMPA, IDAHO 83651**

**OFFICE (208) 468-5435**

**FAX (208) 465-5439**

## EXPIRATION OF PERMIT

Every permit issued shall become invalid unless the work on the site authorized by such permit is commenced within one hundred eighty (180) days after its issuance, or if the work authorized on the site by such permit is suspended or abandoned for a period of one hundred eighty (180) days after the work is commenced.

## OTHER CONDITIONS OF APPROVAL

I have read and agree to the terms and conditions of this Permit. I certify that I have the authority to obligate my company to these terms and conditions

Applicant's Name: \_\_\_\_\_

Applicant's Title: \_\_\_\_\_

Applicant's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Permit Fee:** \$58.00 + \$5.00 (base permit fee) = \$63.00



# STANDARDS FOR POLE BARN CONSTRUCTION

2017

CITY OF NAMPA



# **Standards for Pole Type Construction**

The following standards are intended to serve as a guide for pole construction within the City of Nampa. They are intended to consolidate and focus on minimum requirements, which are applicable to popular pole construction methods. These standards are not meant to be substituted for, or be contrary to, governing building code regulations. If plans are submitted by a State of Idaho registered design professional, alternative construction methods will be considered.

If the structure you are proposing will exceed an exterior side wall height of 12' engineering will be required. The total structure height may not exceed 15' in total height. All detached structures are limited to this height.

## Footings:

1. It is the responsibility of the person preparing the plans to design the footings according to the bearing capacity of the soil.
2. Footings shall bear on virgin soil a minimum of 48 inches below the finish grade.

## Skirt Boards:

1. All skirt boards shall be tongue and groove and decay resistant.
2. Skirt boards shall be installed from the base of the slab to a point not less than eight (8) inches above the finish grade.

## Pole Building Additions:

1. Weather-proof control joints and expansion joints shall be utilized where new pole buildings connect with existing buildings to allow movement.

## Concrete Slabs:

1. Concrete slabs shall not be placed in direct contact with load-bearing poles.
2. Poles shall be separated from concrete slabs with pre-molded expansion joint filler or 15 pound felt.

## Poles:

1. Minimum size for bearing poles shall be 4" X 6" nominal. Poles on end walls may be 4" X 4".  
The 6 inch dimension shall be perpendicular to the wall.  
Exception: As a minimum, 6 inch X 6 inch poles shall be used for buildings with a bearing dimension exceeding thirty-one (31) feet.
2. Standard spacing of poles shall not exceed eight (8) feet.
3. All poles shall be pressure treated with a minimum AWPA rating of UC4B GROUND CONTACT Heavy Duty.

## Standards for Pole Type Construction

### Truss Bearing Beams:

1. Continuous beams designed to support roof trusses shall be thru-bolted to the poles. These shall be (2) ½" carriage bolts or an approved equivalent (such as Ledger-Lok or other proprietary products approved by industry standards acceptable to ICCES reports).
2. Alternative methods of connecting beams to poles utilizing thru-bolted ledgers or jacks will be subject to approval of the Building Official.

### Girts (Side-wall Purlins):

1. Girts shall be spaced not more than twenty-four (24) inches on center for exterior wall siding and interior wall covering.
2. Girts are to be secured to wood poles spaced not more than eight (8) feet center to center.
3. Wood girts two (2) inches by four (4) inches nominal shall be secured to each pole with two (2) each sixteen (16) penny nails.

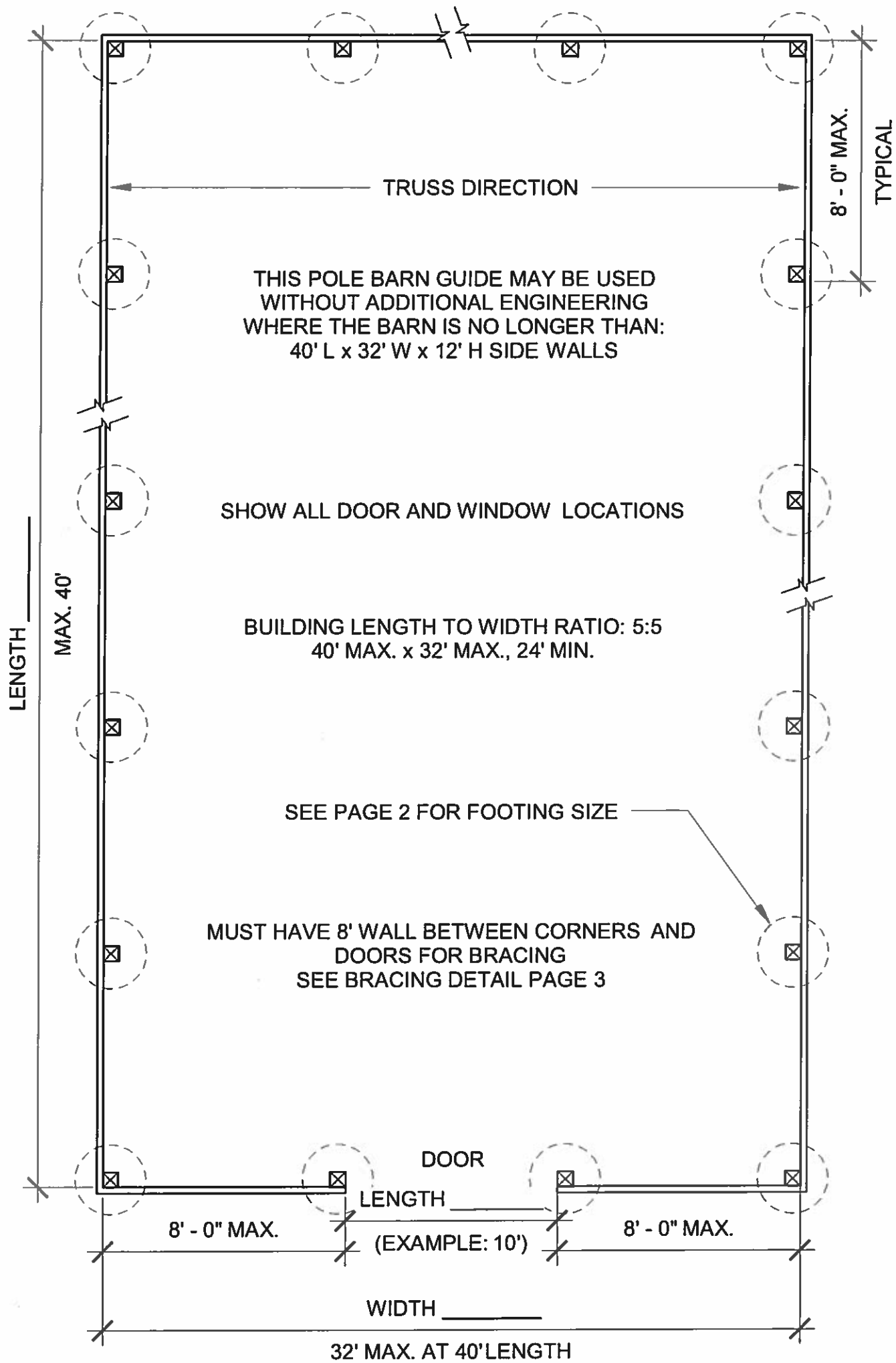
### Structural Guide for Pole Buildings:

Building Width	Footer Diameter	Concrete Thickness	Footer Depth	Pole Size & Spacing	Girder Size
20'	18 Inches	10 Inches	48"	* 4" X 6" @ 8 Ft. o/c	2-2" X 8" SPF No.1
24'	18 Inches	10 Inches	48"	* 4" X 6" @ 8 Ft. o/c	2-2" X 8"
28'	18 Inches	10 Inches	48"	* 4" X 6" @ 8 Ft. o/c	2-2" X 10" SPF No.1
<b>6" SIDE OF POLES SHALL BE PERPENDICULAR TO THE WALL</b>					
32'	24 Inches	12 Inches	48"	6" X 6" @ 8 Ft. o/c	2-2" X 10" SPF No.1
36'	24 Inches	12 Inches	48"	6" X 6" @ 8 Ft. o/c	2-2" X 12" SPF No.1
40'	24 Inches	12 Inches	48"	6" X 6" @ 8 Ft. o/c	2-2" X 12" SPF No 1

The Above Table Based on the Following Design Specifications:

- Min 2,000 psf Soil Bearing
- Max 12' Eave Height
- Max 40' Bearing Width
- Max 45 psf Total Roof Load

ALL RESIDENTIAL POSTFRAME BUILDINGS EXCEEDING ANY OF THESE DESIGN SPECIFICATIONS SHALL BE DESIGNED BY A DESIGN PROFESSIONAL



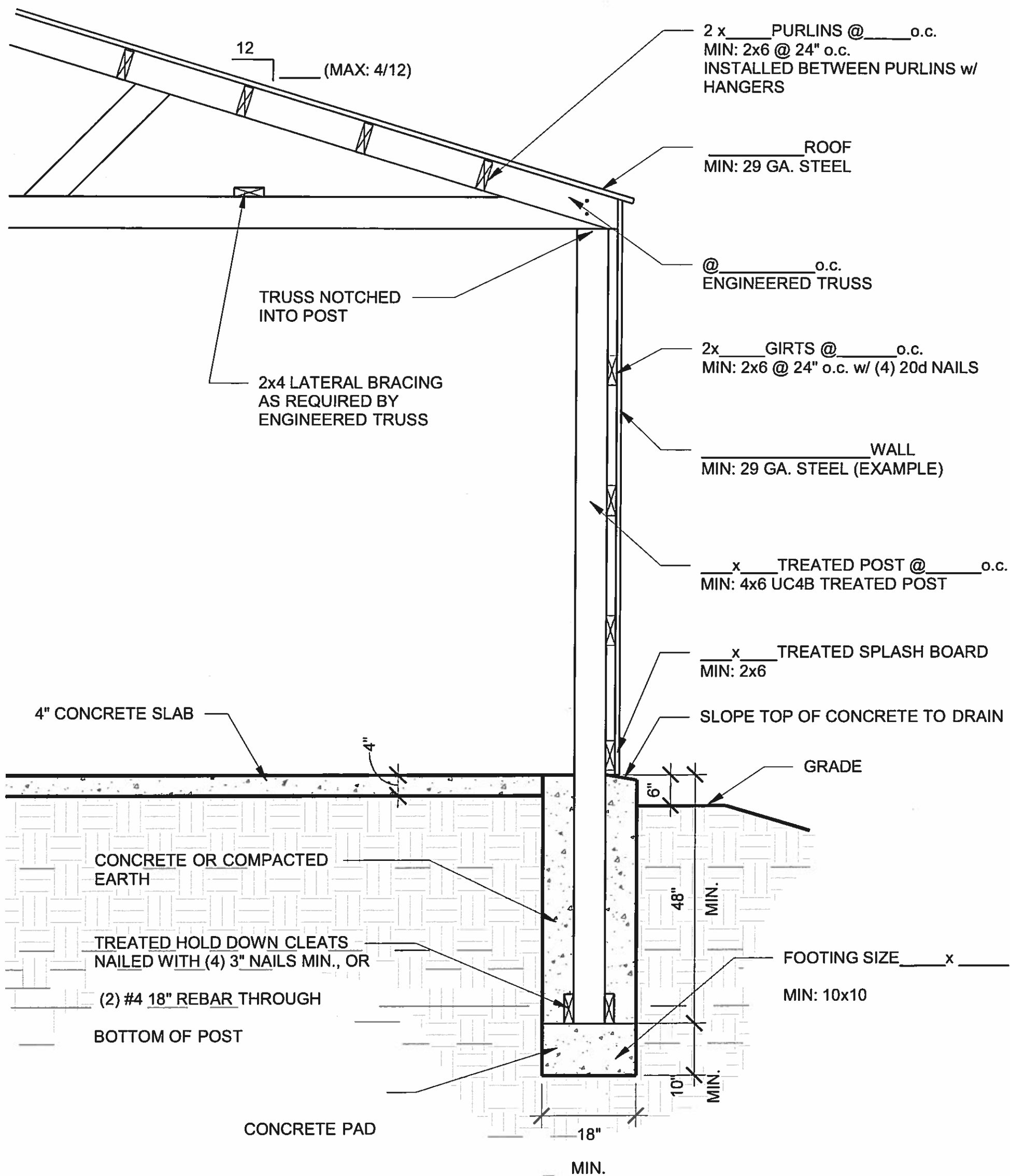
**POLE BARN GUIDE**

CITY OF NAMPA BUILDING DEPARTMENT

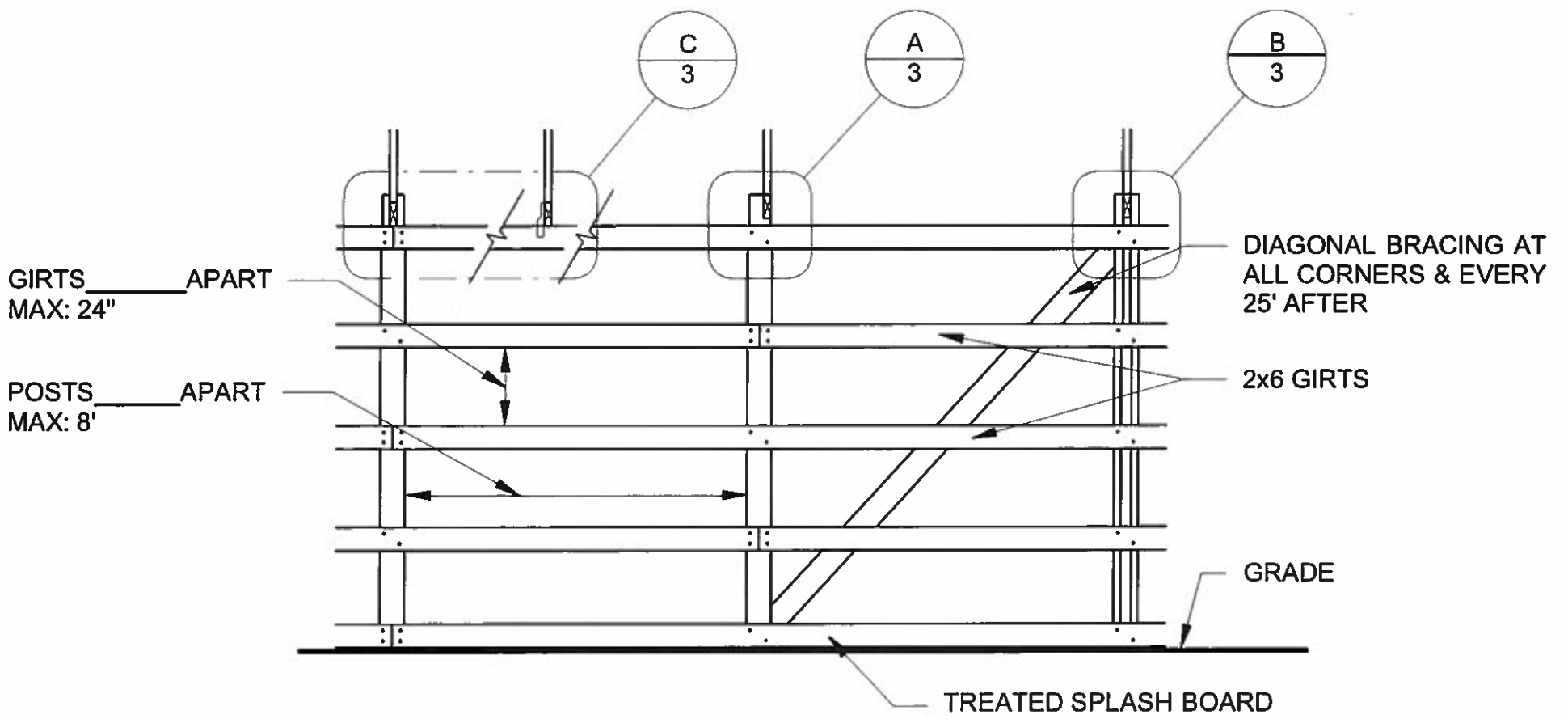
**FLOOR PLAN**

SHEET **1**

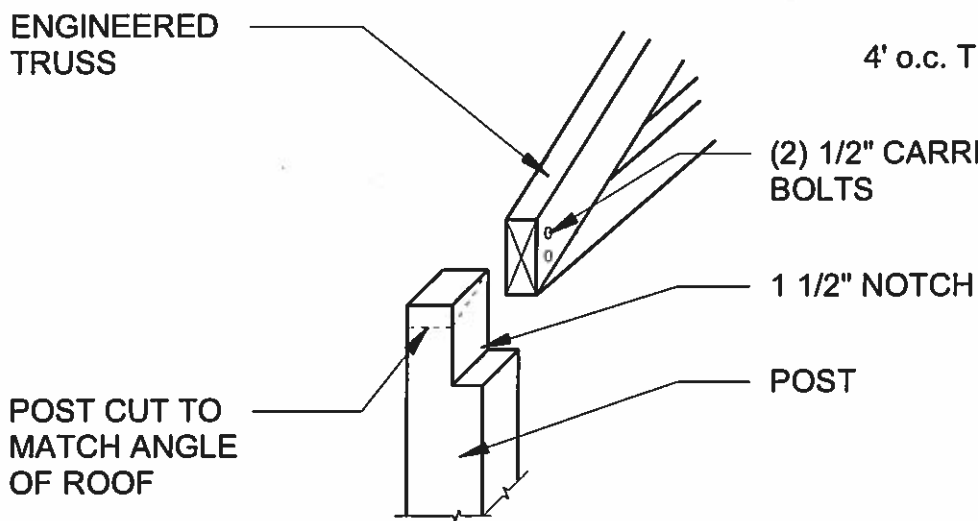
SCALE 3/16" = 1'-0"



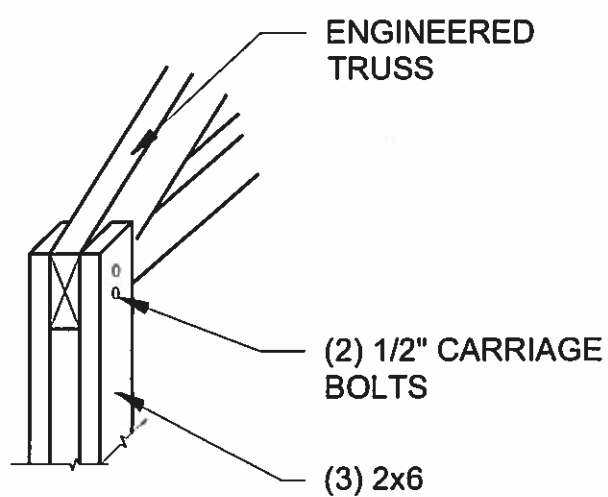
<b>POLE BARN GUIDE</b> CITY OF NAMPA BUILDING DEPARTMENT	<b>SECTION</b>	SHEET <b>2</b>
		SCALE 1/2" = 1'-0"



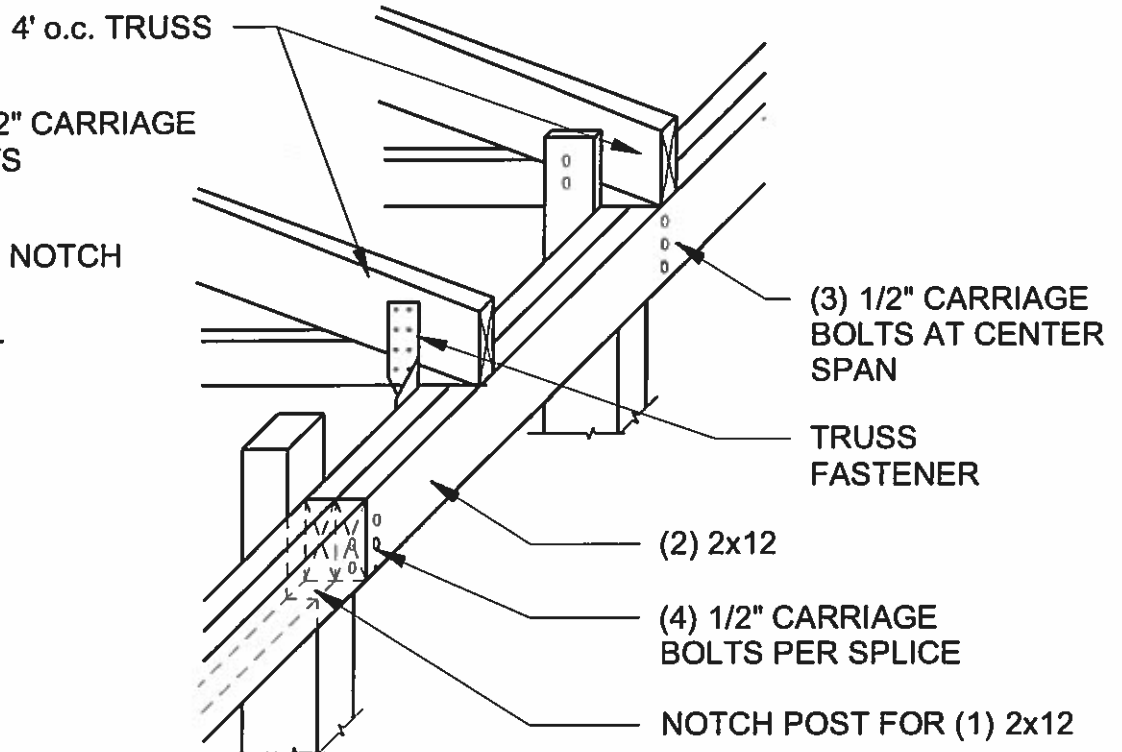
**1** SIDE ELEVATION  
 1/4" = 1'-0"



**A** DETAIL A  
 1" = 1'-0"



**B** DETAIL B  
 1" = 1'-0"



**C** DETAIL C  
 1" = 1'-0"

**POLE BARN GUIDE**

CITY OF NAMPA BUILDING DEPARTMENT

**DETAILS**

SHEET **3**

SCALE As indicated

